



City of Walhalla

Board of Zoning Appeals

Teara Barnwell, Chair

Dustin Raines

Amy Welch

Wednesday, October 16, 2024

Regularly Scheduled Board of Zoning Appeals Meeting

5:30 PM

206 North Church Street

Walhalla, South Carolina 29691

AGENDA

1. Call to Order
2. Approval of Agenda
3. Approval of Minutes: September 16, 2024
4. Public Hearings
 - a. Special Exception: Allow a manufactured home to be replaced on TMS 500-06-02-010.
5. Other Business
6. Adjournment

**City of Walhalla
Board of Zoning Appeals Staff Report
October 2024**

Applicant: Levi Oakley and Lilly Conant

Current Owners: Levi Oakley

Property Addresses: 210 Medlin Street

TMS #(s): 500-06-02-010

Acreage: +/- 1.79

Current Zoning: GR (General Residential)

Surrounding Zoning: North: GR (General Residential)
South: GR (General Residential) and MFR (Multi-Family Residential)
East: MFR (Multi-Family Residential)
West: GR (General Residential)

Surrounding Land Use: North: Residential
South: Residential
East: Residential
West: Residential

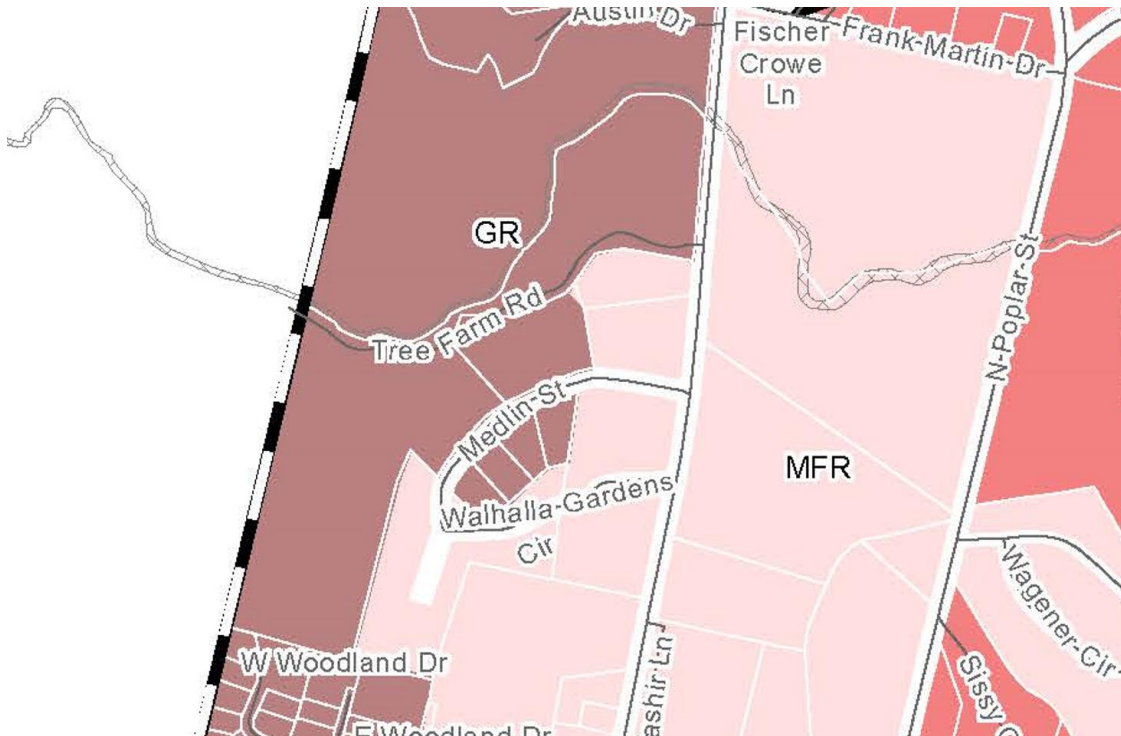
Evaluation: This request is for a special exception to replace a manufactured home with another.

Staff Recommendation: Due to the surrounding character of the area and that this is replacement of an existing manufactured home, staff recommends approval of the special exception.

Aerial (Property Outline in Turquoise)



Zoning Map



Subject Property



East of the Property



West of the Property





CITY OF WALHALLA Community Development

206 N Church St. • P.O. Box 1099 • Walhalla, SC 29691 • (864) 638-4343 • Fax (864) 638-4357 • www.CityofWalhalla.com

Board of Zoning Appeals Application

Date Filed: _____ Permit Application No. _____ Appeal No. _____

INSTRUCTIONS

This application and its corresponding form must be completed for a hearing on **appeal** (corresponding form on page 2) from action of a zoning official, application for a **variance** (corresponding form on page 3), or application for **special exception** (corresponding form on page 4). This application shall be accompanied by a \$ 100.00 check made payable to the CITY OF WALHALLA, to help defray the cost of processing. If the application is on behalf of the property owner(s), all owners must sign. If the applicant is not an owner, the owner(s) must sign the Designation of Agent.

An accurate, legible plot plan showing property dimensions and locations of structures and improvements must be attached to an application for variance or special exception.

THE APPLICANT HEREBY APPEALS: for action of zoning official for a variance for a special exception

Applicant(s)

Name: Leri Oakley & Lilly Corst
Address: 21omedlin^s Walhalla SC
Telephone: 864 723 6394 Mobile: 843 952 5975 Email: LSOakley93@gmail.com
Len Lilly

Owner(s) (If other than the applicant)

Name: _____
Address: _____
Telephone: _____ Mobile: _____ Email: _____

Designation of Agent (Complete, if the owner is not applicant)

I (we) hereby appoint the person named as Applicant as my (our) agent to represent me (us) in this application.

Owner's Signature: _____ Date: _____

Interest

Applicant holds the following interest: Owner Adjacent Owner Other, please explain _____

Property Description

Property Address: 21omedlin^s St
TMS #: 500 - 06 - 02 - 010 Zoning District: Residential Acreage: 6.79
Lot: 2 Block: _____ Subdivision: _____ Lot Dimensions: _____
Plat Book: 1373 Page #: 322
2258 327

I (we) certify that the information in this application and the attached is correct.

Applicant's Signature: [Signature] Date: 9/17/2024

Appeal from Action of Enforcement Official Application

1. Applicant hereby appeals to the Board of Zoning Appeals from the action of the Zoning Official affecting the property described on the grounds that: Granting Denial of an application of a permit to _____
add a manufactured home in place of the existing
single wide
was erroneous and contrary to provisions of the zoning ordinance in Section 199-2-A

or other action/decision of the Zoning Official was erroneous, as follows: _____

2. Applicant is aggrieved by the action or decision in that: _____

3. Applicant contends that the correct interpretation of the zoning ordinance as applied to the property is: _____

4. Applicant requests the following relief: _____

Applicant's Signature: _____

Date: 9/17/2024

For Official Use	
Date of Hearing: _____	Board of Zoning Appeals' Decision: _____
Reason: _____	
Board of Zoning Appeals Chair: _____	Date: _____

Request for Variance Application

1. Applicant hereby appeals to the Board of Zoning Appeals for a variance from the strict application to the property described on page 1 of this application of the following provisions of Zoning Ordinance: _____

199-2-A

so that a zoning permit may be issued to allow use of the property in a manner shown on the attached plot plan, described as follows: _____

_____ for which a permit has been denied by a zoning official on the grounds that the proposal would be in violation of the cited sections(s) of the Zoning Ordinance.

2. The application of the ordinance will result in unnecessary hardship, and the standards for a variance set by State law and the ordinance are met by the following facts.

*****NOTE: All of the standards set forth in a, b, c and d below must be met before the Board of Appeals can grant a variance. *****

a. There are extraordinary and exceptional conditions pertaining to the particular piece of property as follows: _____

b. These conditions do not generally apply to the property in the vicinity as shown by: _____

c. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property as follows: _____

d. The authorization of the variance will not be of substantial detriment to the adjacent property or to the public good, and the character of the district will not be harmed by granting the variance for the following reasons: _____

3. The following documents are submitted in support of this application: *(A plot plan must be submitted.)*

Applicant's Signature: _____



Date: _____

9/17/2024

For Official Use

Date of Hearing: _____

Board of Zoning Appeals' Decision: _____

Reason: _____

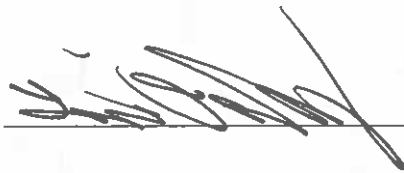
Board of Zoning Appeals Chair: _____

Date: _____

Request for Special Exception Application

1. Applicant hereby appeals to the Board of Zoning Appeals for a special exception for use of the property described on page 1 of this application as: the opportunity to remove existing single wide trailer and improve the neighborhood and personal property. which is a permitted special exception under the district regulation in Section 199-2 of the Zoning Ordinance.
2. Applicant will meet the standard in Section 199-2 of the Zoning Ordinance which are applicable to the proposed special exception in the following manner: Remove existing single wide trailer and replace with a 28'x64' manufactured home with brick foundation, 8'x10' entrance deck, 8'x20' rear deck, vinyl siding, asphalt roof shingles
3. Applicant suggests that the following conditions be imposed to meet the standards in the Zoning Ordinance: Agreement between both parties and final inspection.
4. The following documents are submitted in support of this application: *(A plot plan must be submitted.)* Plot/Site Plan, Schematics and plans for manufactured home

Applicant's Signature:



Date: 9/17/2024

For Official Use

Date of Hearing: _____ Board of Zoning Appeals' Decision: _____

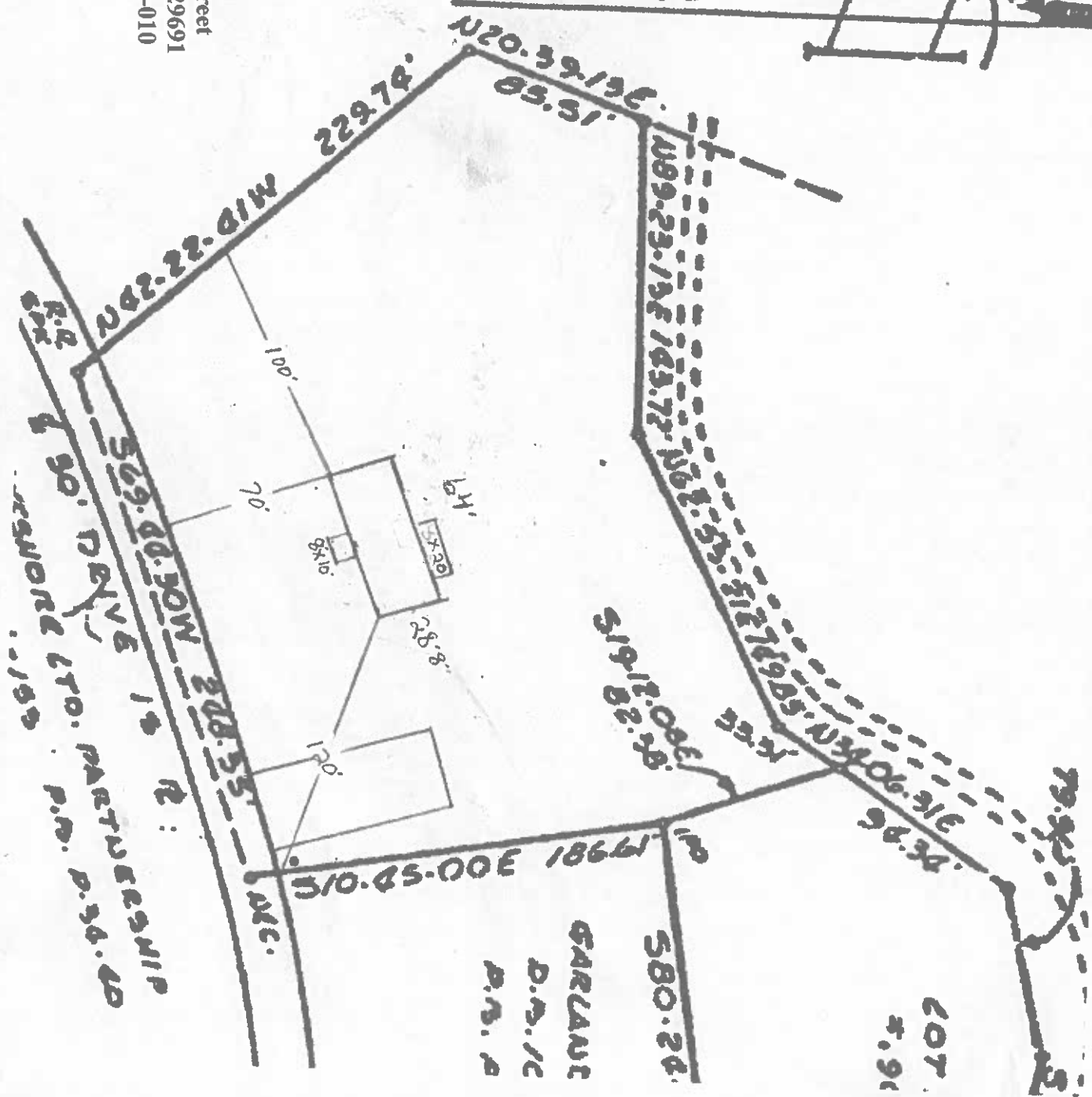
Reason: _____

Board of Zoning Appeals Chair: _____ Date: _____

Levi S Oakley
 210 Medlin Street
 Walhalla, SC 29691
 PID 500-06-02-010
 Lot 2A
 1.79 Acres



MAGNETIC



LOT
 4.91

S80.24

GARLAUT
 D.A. JC
 P.M. A

W.C.

R.R. 1/4
 90' DRIVE
 AGNONE LTO. PARTUS ESQUIP
 . . . 189

Oconee County, SC

Parcel Information

Parcel ID 500-06-02-010
Neighborhood 9300100 - Walhalla Town
Property Address 210 MEDLIN ST
Legal Description MEDLIN ST (1.79 AC)
(Note: Not to be used on legal documents.)
Acres 1.79
Class 120 MHome with land
Tax District WALHALLA INC (District 30)
Exemptions

[View Map](#)

Owner

OAKLEY LEVI S
210 MEDLIN ST
WALHALLA, SC 29691

Land

Land Use	Acres	Square Footage	Frontage	Depth
O - Other	1.79	43,560	0	0

Accessory Information

Description	Year Built	Dimensions/Units	Identical Units
Equipment Shed:Steefno Slab	1995	12x24 / 0	0

Valuation

Assessed Year	2024
Land Value	\$23,270
Improvement Value	\$4,170
Accessory Value	\$1,830
Total Value (Market)	\$29,270
Land Value	\$0
Improvement Value	\$0
Accessory Value	\$0
Total Value (Capped)	\$0

Sales

Sale Date	Deed Book / Page	Plat Book / Page	Sale Price	Reason	Grantor	Grantee
4/23/2024	3065 64	P46 506	\$10	7: Partial Interest	OAKLEY LEVI S & KACEY L	OAKLEY LEVI S
2/10/2021	2653 29	P-46 506	\$30,800	0: Valid Arms-length	GRAY MARY J	OAKLEY LEVI S & KACEY L

Recent Sales In Area

Sale date range:

From: 09/16/2021 To: 09/16/2024

Sales by Neighborhood

Distance: 1500 Feet Sales by Distance

Generate Owner List by Radius

Distance: 100 Feet

Use Address From:

Owner Property

Select export file format:

Address labels (5160)

International mailing labels that exceed 5 lines are not supported on the Address labels (5160). For international addresses, please use the xls, csv or tab download formats.

Download

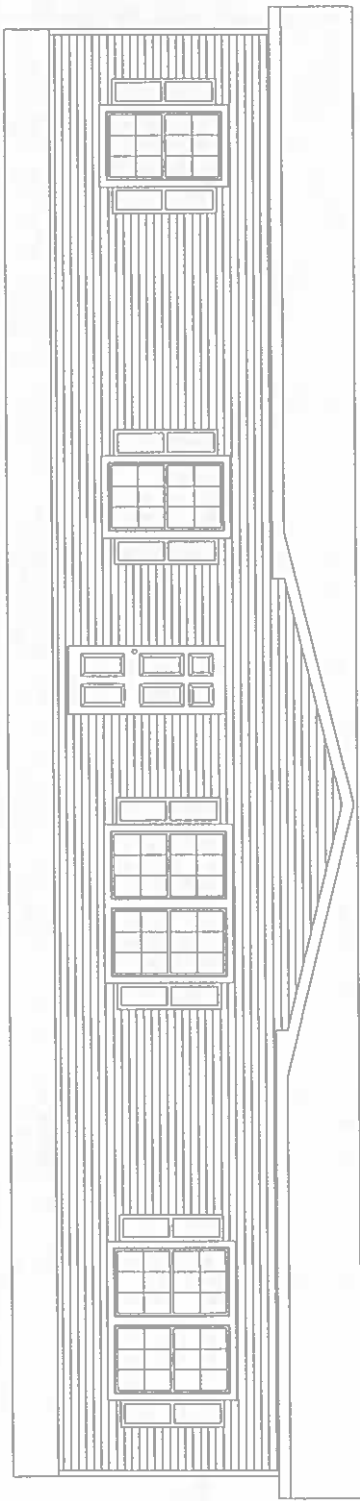
Show All Owners
 Show Parcel ID on Label
Skip Labels 0

No data available for the following modules: Residential Improvement Information, Commercial Improvement Information, Mobile Homes, Sketches.

Oconee County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.
[User Privacy Policy](#) | [GDPR Privacy Notice](#)
Last Data Upload: 9/13/2024, 5:35:36 PM

[Contact Us](#)

Developed by
 Schneider
GEOSPATIAL



FRONT ELEVATION

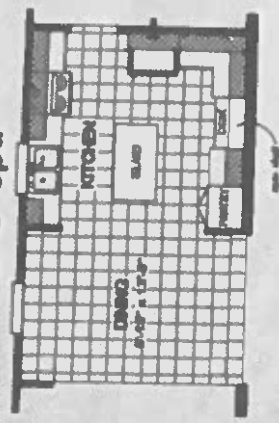
RIGHT SIDE ELEVATION

ROAD		SERIES		CL23		REVISED		DATE		DRAWN		CHECKED		SCALE	
CLAYTON						CLAYTON HOME BUILDING GROUP									
GENERAL NOTES		REVISIONS		DATE		BY		DATE		BY		DATE		BY	
CLAYTON HOME BUILDING GROUP															
PROJECT TITLE		EXTERIOR ELEVATION		FRONT & RIGHT SIDE		DATE		10/30/2023		BY		DATE		10/28/2023	
PROJECT NO.		3337-HUD-28-RIDE		DATE		10/30/2023		BY		DATE		10/28/2023		BY	
SHEET NO.		20-1		DATE		10/30/2023		BY		DATE		10/28/2023		BY	

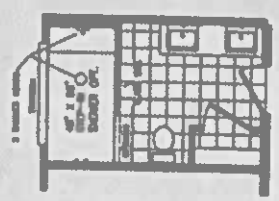
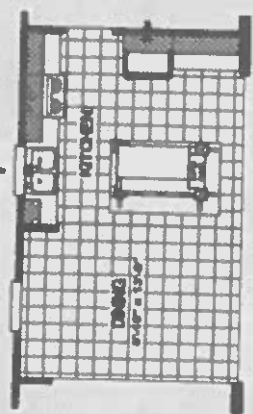
3337
~~Classic~~

3332

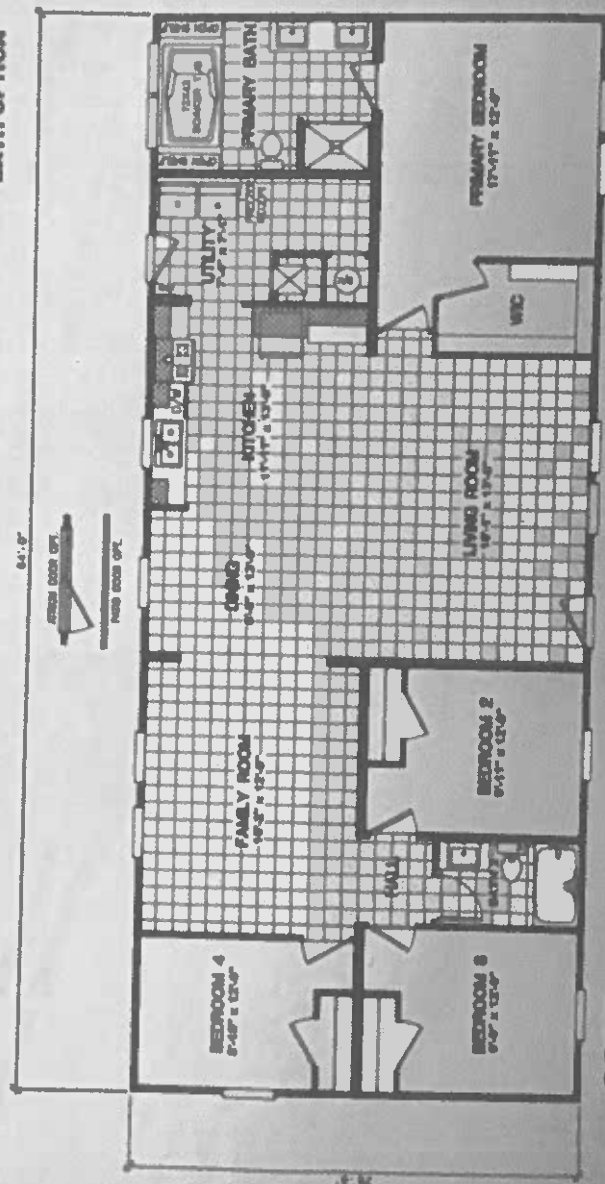
K-3 opt.



K-4 opt.



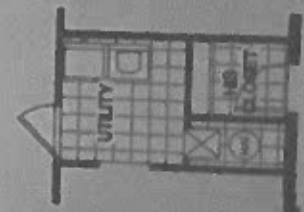
CERAMIC SHOWER BATH OPTION



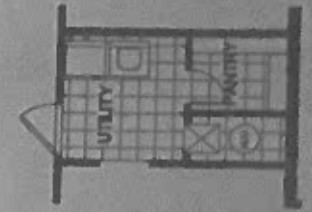
3337



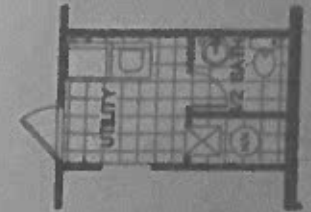
RECESSED ENTRY OPTION



U-1 opt.

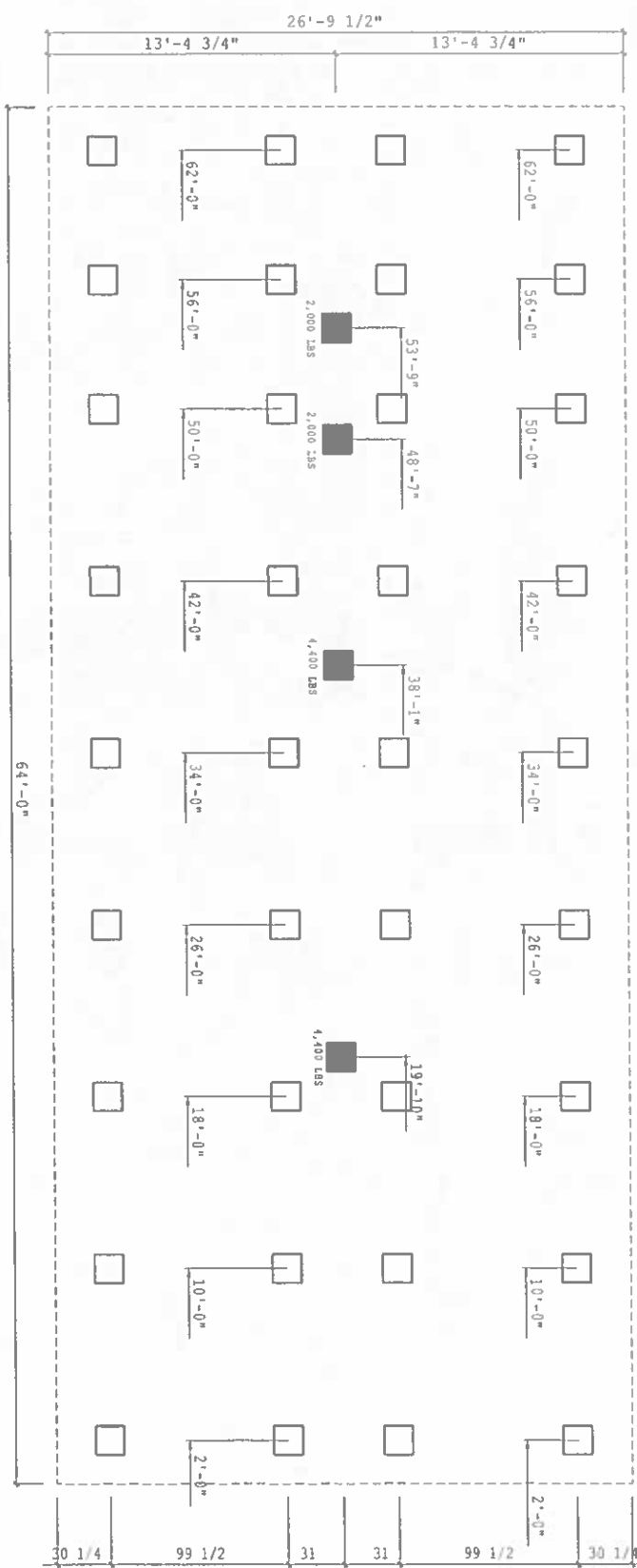


U-2 opt.



U-3 opt.





- SERVICE ENTRANCE LEGENDS
- E - ELECTRICAL SHOP
 - M - WATER INLET
 - D - DWV PLOORING ENOP
 - G - GAS INLET

NOTE: THE OVERALL FOUNDATION WIDTH SHOWN IS 1/2" LARGER THAN THE ACTUAL FLOOR WIDTH TO COMPENSATE FOR PRODUCTION AND ASSEMBLY TOLERANCES.

CLAYTON HOME BUILDING GROUP

REV	DATE	DESCRIPTION
1	01/27/11	ISSUED PER PERMITS
2	02/14/11	ISSUED PER PERMITS
3	02/14/11	ISSUED PER PERMITS
4	02/14/11	ISSUED PER PERMITS
5	02/14/11	ISSUED PER PERMITS
6	02/14/11	ISSUED PER PERMITS

PIER SET
99 1/2 BEAM SPACING

PROJECT NO.	3337-3UD-28-WIDE	DATE	10/30/2023
DRAWN BY	28X64 49R-28A	CHECKED BY	10/28/2023
SCALE	AS SHOWN	DATE PRINTED	10/30/2023
SHEET NO.	21-PS-99	TOTAL SHEETS	1685

- PIER LEGEND
- SUPPORT AT WALLING COLUMN
 - SUPPORT UNDER WALL
 - SUPPORT UNDER WALL
 - SUPPORT AT POCHE/CEILING ENTRY
 - SUPPORT UNDER MAIN 1-BEAM
 - SUPPORT UNDER BALCONY WALL
 - SUPPORT AT CROSS 1-BEAM SUPPORT

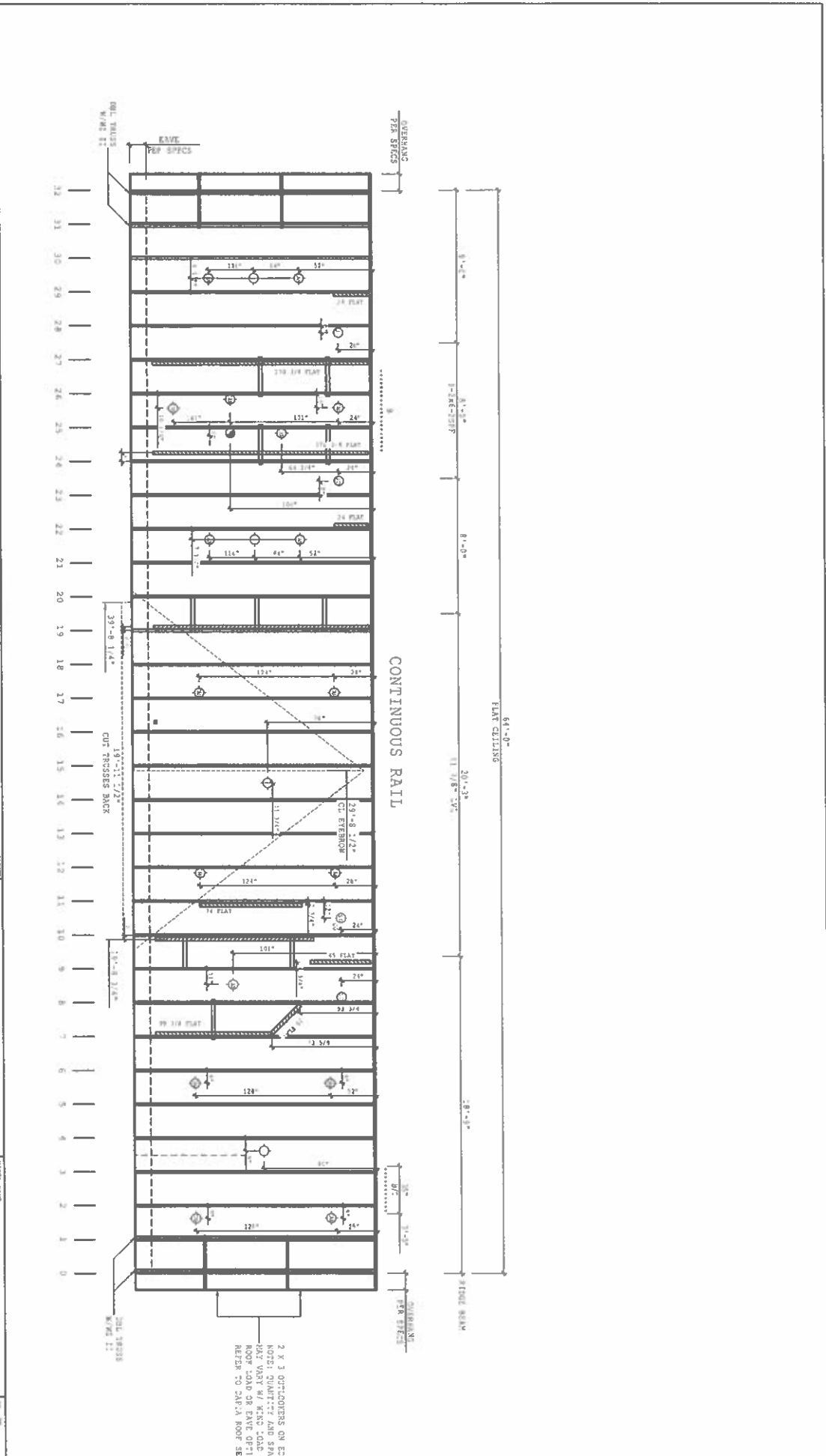
CLAYTON
 CL28
CLAYTON HOME BUILDING GROUP

REVISED	
NO.	DATE

CHANGED CLAYTON SERIES FINISH WINDOW
 ALL BRIDGE BEAMS SHOULD BE 2" X 12" 4" 1/2" GUSSET CIP AND TRUSSES DIRECTLY LENGTHS TO BE TYPICAL
 *MINIMUMS BY SPEC '23 CODE M.C.I. (6-20-20M)-2291

24 O.C. ROOF-B

PROJECT NAME	3337-HUD-28-WIDE
PLAN#	958
DESIGNED BY	ZBX64
CHECKED BY	49R-2BA
DATE	10/28/2023
DATE PLOTTED	10/30/2023
SHEET NO.	SW2552C
TOTAL SHEETS	16-18



OVERLAP PER SPECS

CONTINUOUS RAFT

OVERLAP PER SPECS

2 X 3 OUTSIDERS ON E. END.
 NOTE: QUANTITY AND SPACING MAY VARY W/ KING LOADS.
 ROOF LOAD OR EAVE OPENING REFER TO DATA ROOF SE

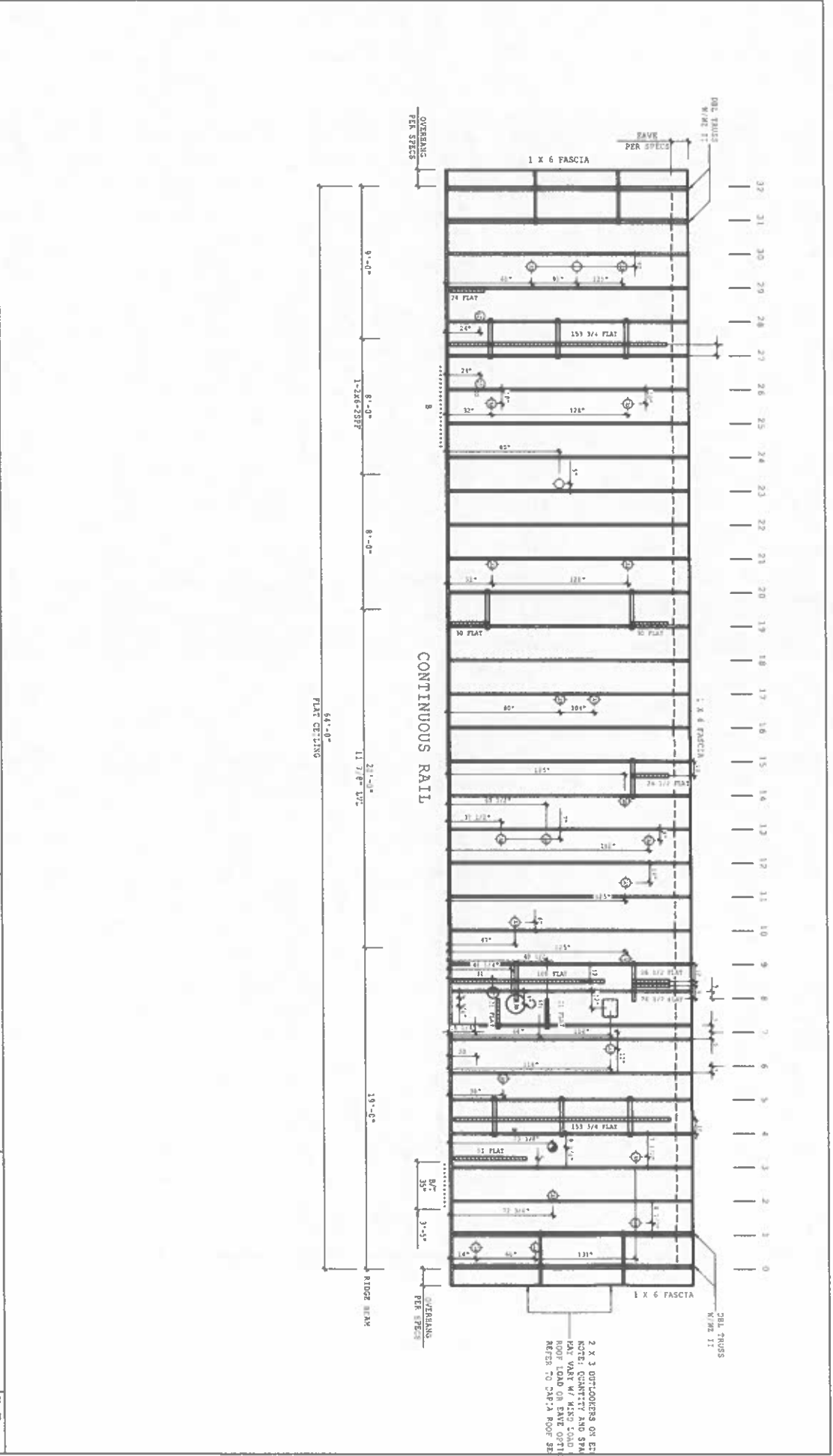
CLAYTON HOME BUILDING GROUP

REV	DATE	DESCRIPTION
1	04/25/11	ISSUED FOR PERMITS
2		
3		
4		
5		

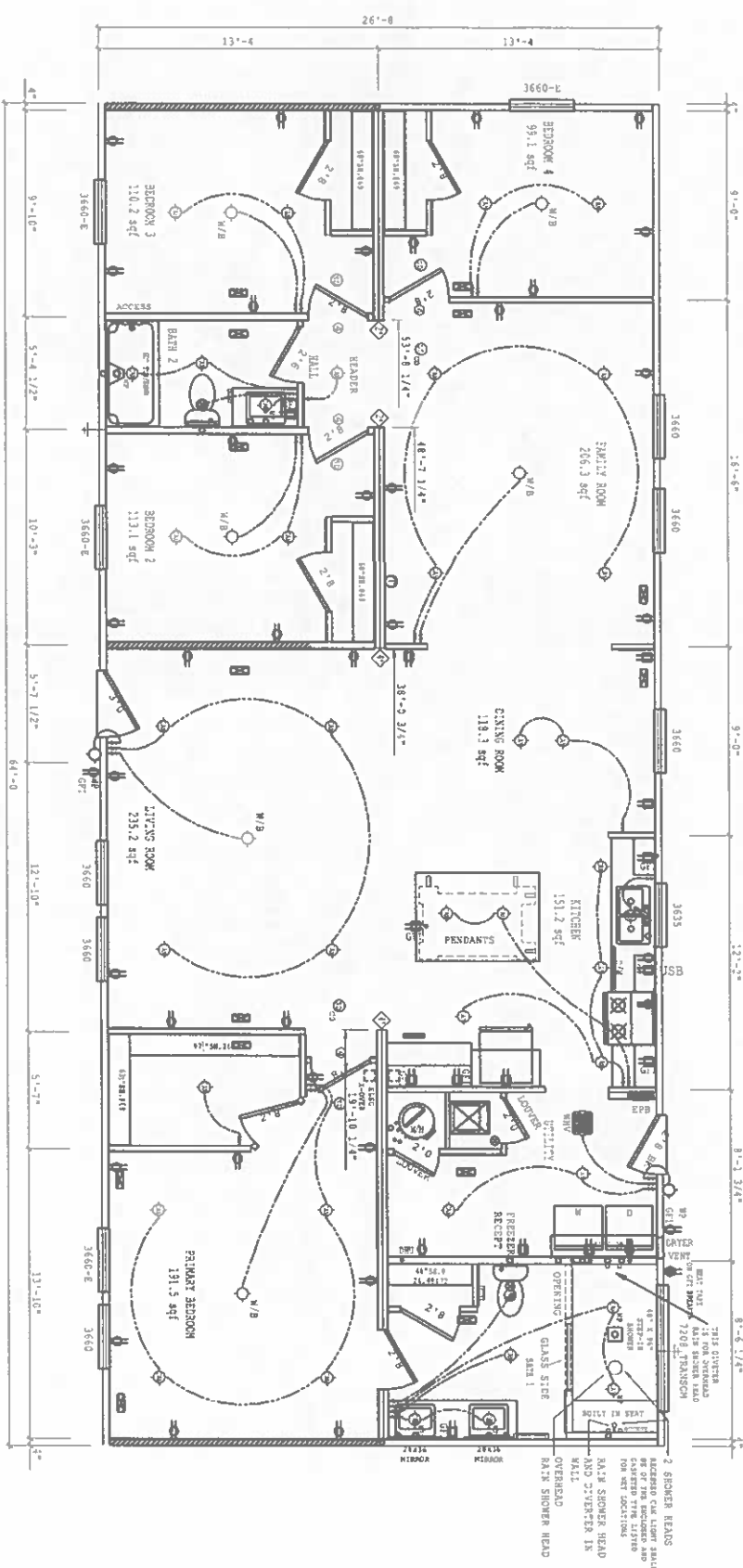
GENERAL NOTES:
 ALL SHOWN NOTES SHOULD BE 24" LONG +/- UNLESS OTHERWISE NOTED.
 DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.

24 O.C. ROOF-A

PROJECT NO.	3337-HUD-28-WIDE	SHEET NO.	16-1A
DATE PRINTED	10/30/2023	SCALE	AS SHOWN
DATE	10/28/2023	PROJECT	CLAYTON HOME BUILDING GROUP
PROJECT	CLAYTON HOME BUILDING GROUP	PROJECT	CLAYTON HOME BUILDING GROUP



48 47 46 45 44 43 42 41 40 39 38 37 36 35 34 33 32 31 30 29 28 27 26 25 24 23 22 21 20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1 0



NO.	REVISION	DATE
1	ISSUED FOR PERMITS	10/28/2023
2	REVISED PER COMMENTS	10/30/2023
3	REVISED PER COMMENTS	10/30/2023
4	REVISED PER COMMENTS	10/30/2023
5	REVISED PER COMMENTS	10/30/2023
6	REVISED PER COMMENTS	10/30/2023
7	REVISED PER COMMENTS	10/30/2023

CLAYTON HOME BUILDING GROUP
 CL28

NO.	REVISION	DATE
1	ISSUED FOR PERMITS	10/28/2023
2	REVISED PER COMMENTS	10/30/2023
3	REVISED PER COMMENTS	10/30/2023
4	REVISED PER COMMENTS	10/30/2023
5	REVISED PER COMMENTS	10/30/2023
6	REVISED PER COMMENTS	10/30/2023
7	REVISED PER COMMENTS	10/30/2023

CLAYTON HOME BUILDING GROUP
 CL28

PRIMARY PLAN
 FURNACE 3610

NO.	REVISION	DATE
1	ISSUED FOR PERMITS	10/28/2023
2	REVISED PER COMMENTS	10/30/2023
3	REVISED PER COMMENTS	10/30/2023
4	REVISED PER COMMENTS	10/30/2023
5	REVISED PER COMMENTS	10/30/2023
6	REVISED PER COMMENTS	10/30/2023
7	REVISED PER COMMENTS	10/30/2023

3337-HUD-28-H10E
 28X64 4BR-2BA
 10/28/2023 10/30/2023

1685
 SHEET NO. SN25520
 SHEET NO. 1-1

LIMITED APPROVAL FOR S2245666
 REFER TO NO 958-238 FOR OTHER
 SYSTEMS APPROVED DRAWINGS
 MIND ZONE 1
 ROOF LOAD: 20#
 ROOF PITCH: 3:12
 SHEET NO: P04S COUNTY NC.

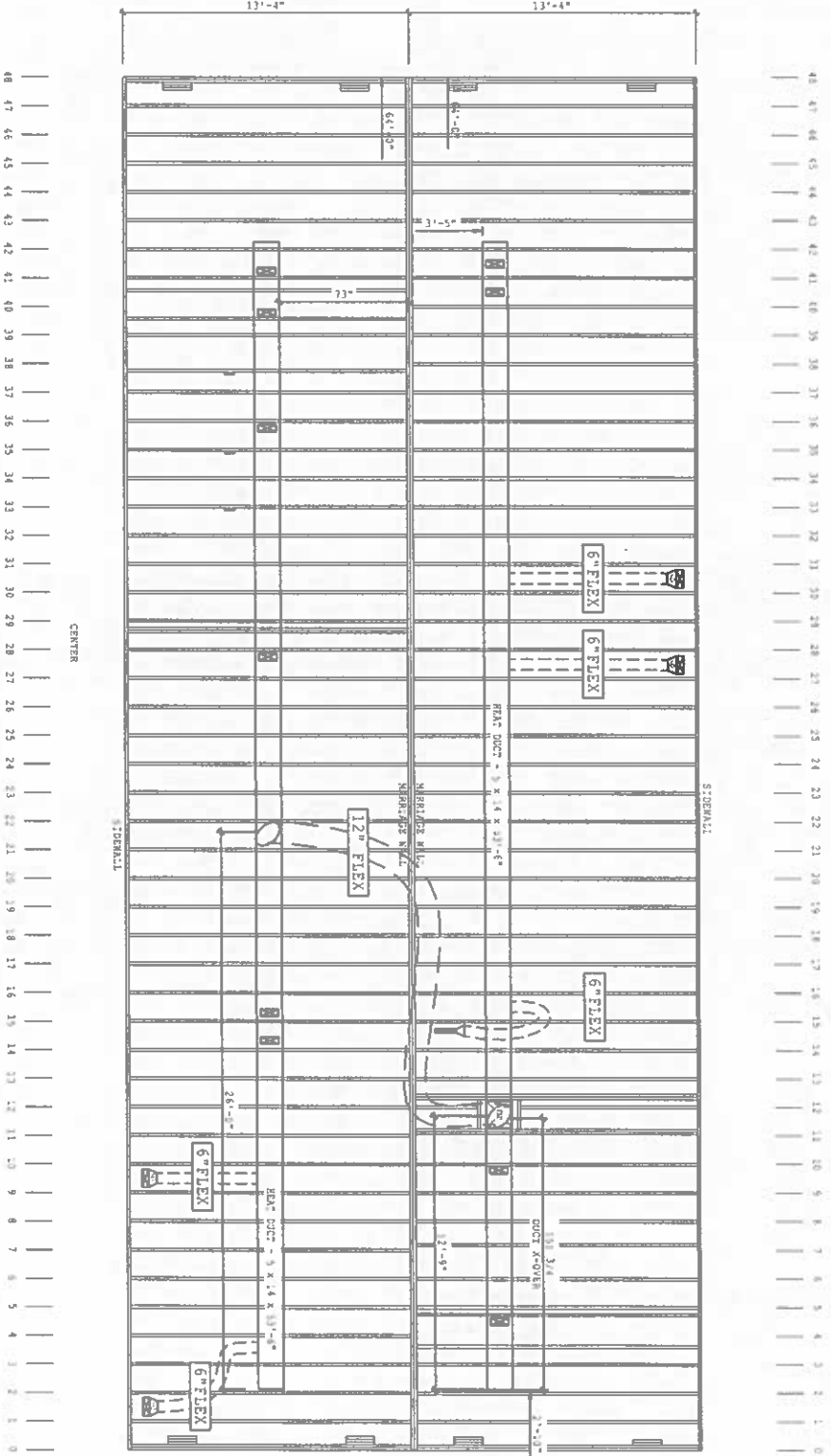
CLAYTON HOME BUILDING GROUP

NO.	DATE	REVISIONS
1	01/23/21	CONCRETE WORK
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CLAYTON

CL28

3337-HUD-28-WIDE
 958
 28X64 43R-2BA
 10/28/2023
 10/30/2023
 SN255520
 4-1A



NO.	DATE	REVISIONS
1	01/23/21	CONCRETE WORK
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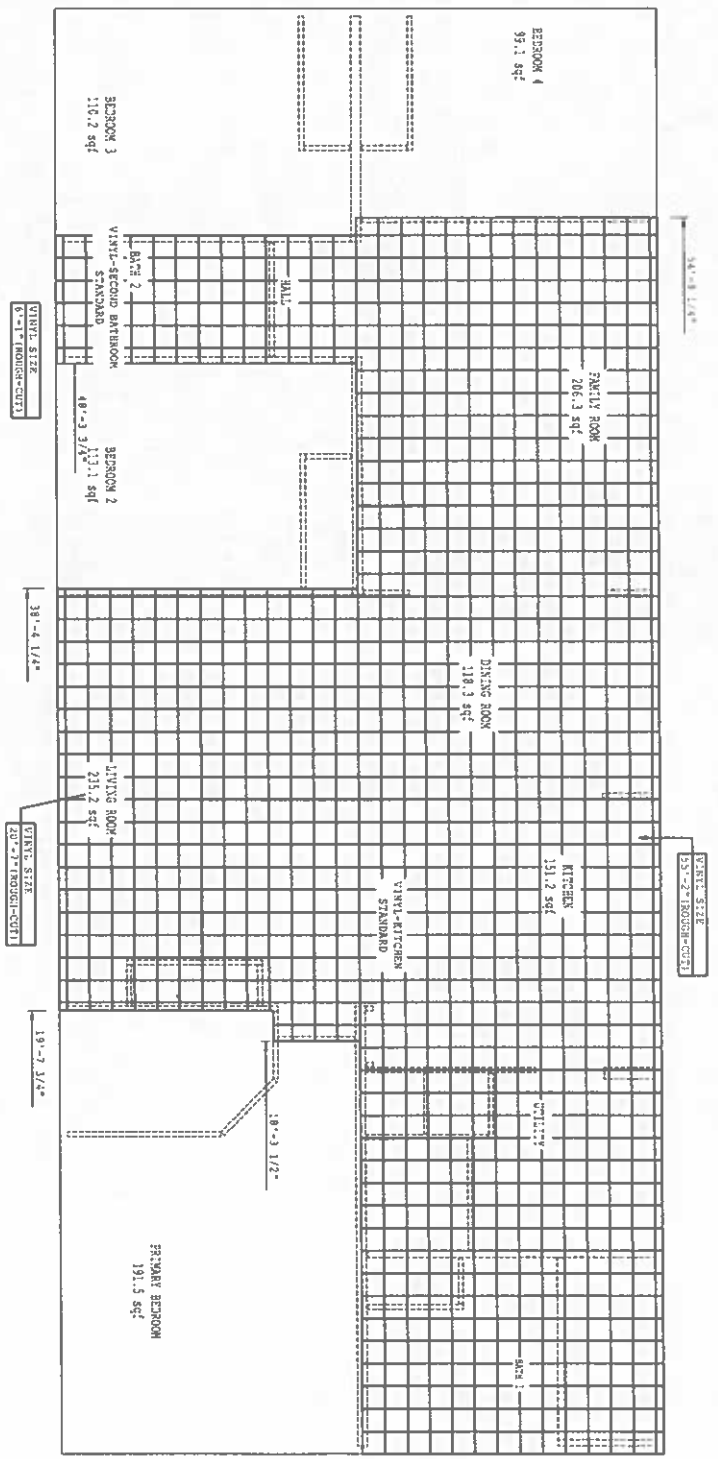
CLAYTON HOME BUILDING GROUP

REV.	DATE	DESCRIPTION

CLAYTON HOME BUILDING GROUP

FLOOR COVERAGE PLAN

MODEL NAME: 3337-HUD-28-WIDE
PLAN NO: 958
DATE: 10/28/2023
SHEET NO: 7-1



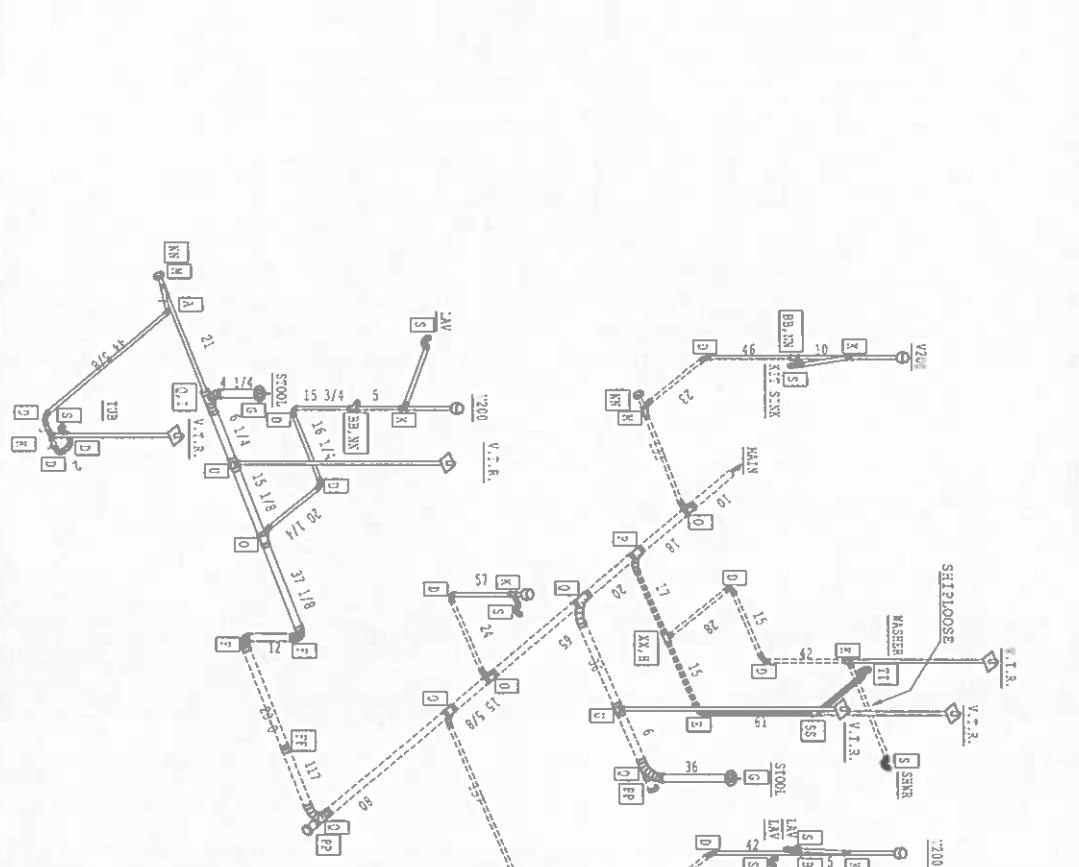
REV.	DATE	DESCRIPTION

BRAND	CLAYTON
INCHES	C/28
REVISED	CLAYTON
DATE	10/28/2023

REVISIONS	DATE
1	10/28/2023
2	10/30/2023

NOTES
1. DWV SCHEMATIC

PROJECT NO.	3337-HUD-28-WIDE
DATE	10/28/2023
DESIGNER	SS
CHECKER	SS
DATE	10/30/2023
SHEET NO.	8-1



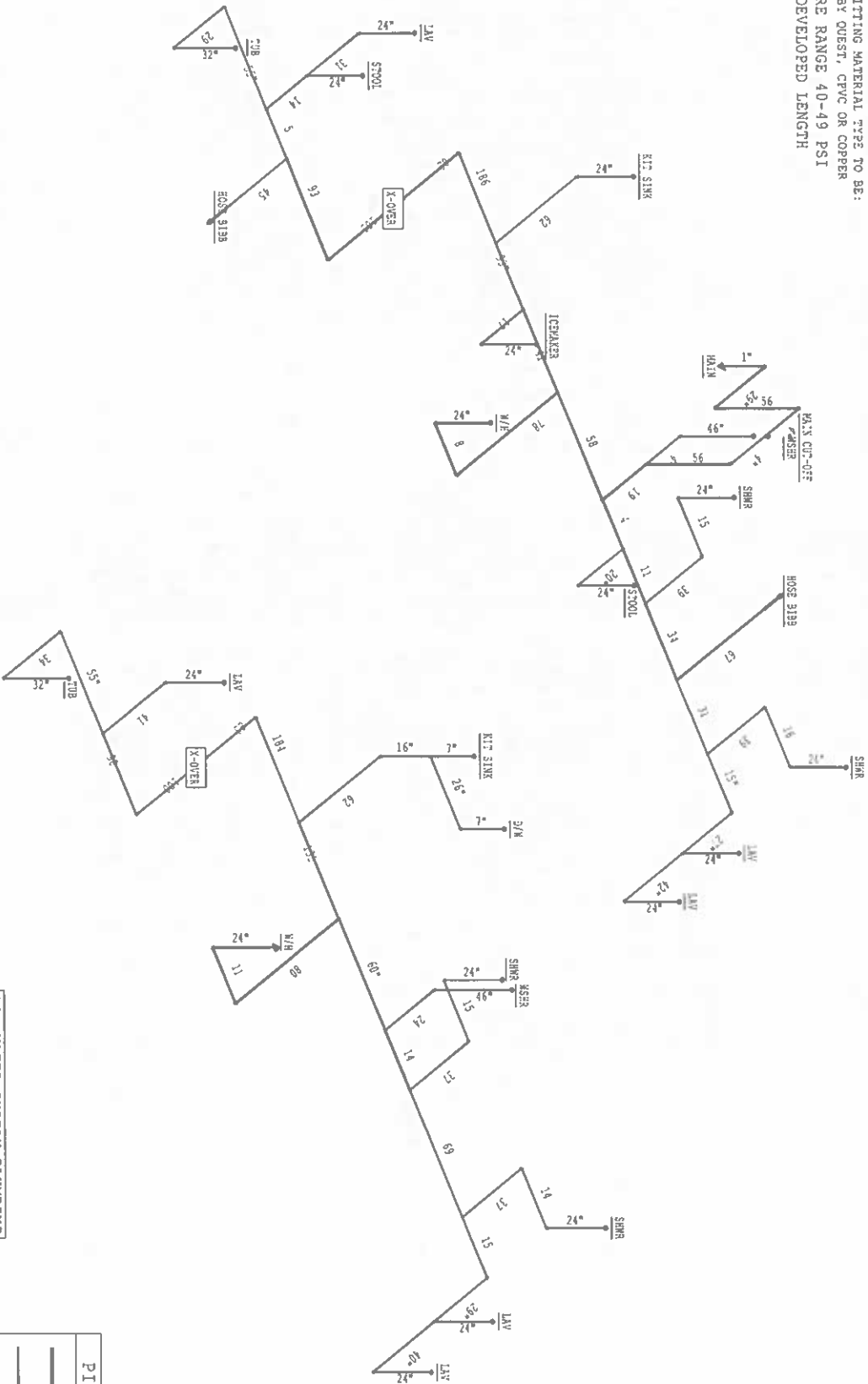
NOTE:
ACCESS SHALL BE PROVIDED TO ALL AIR ADMITTANCE VALVES. THE VALVE SHALL BE LOCATED WITHIN A VENTILATED SPACE THAT ALLOWS AIR TO ENTER THE VALVE

NO.	DESCRIPTION	SIZE	LENGTH	UNIT
1	1.5" X 1/2" BRND	1.5"	10'	1
2	1.5" X 1/2" BRND	1.5"	10'	1
3	1.5" X 1/2" BRND	1.5"	10'	1
4	1.5" X 1/2" BRND	1.5"	10'	1
5	1.5" X 1/2" BRND	1.5"	10'	1
6	1.5" X 1/2" BRND	1.5"	10'	1
7	1.5" X 1/2" BRND	1.5"	10'	1
8	1.5" X 1/2" BRND	1.5"	10'	1
9	1.5" X 1/2" BRND	1.5"	10'	1
10	1.5" X 1/2" BRND	1.5"	10'	1
11	1.5" X 1/2" BRND	1.5"	10'	1
12	1.5" X 1/2" BRND	1.5"	10'	1
13	1.5" X 1/2" BRND	1.5"	10'	1
14	1.5" X 1/2" BRND	1.5"	10'	1
15	1.5" X 1/2" BRND	1.5"	10'	1
16	1.5" X 1/2" BRND	1.5"	10'	1
17	1.5" X 1/2" BRND	1.5"	10'	1
18	1.5" X 1/2" BRND	1.5"	10'	1
19	1.5" X 1/2" BRND	1.5"	10'	1
20	1.5" X 1/2" BRND	1.5"	10'	1
21	1.5" X 1/2" BRND	1.5"	10'	1
22	1.5" X 1/2" BRND	1.5"	10'	1
23	1.5" X 1/2" BRND	1.5"	10'	1
24	1.5" X 1/2" BRND	1.5"	10'	1
25	1.5" X 1/2" BRND	1.5"	10'	1
26	1.5" X 1/2" BRND	1.5"	10'	1
27	1.5" X 1/2" BRND	1.5"	10'	1
28	1.5" X 1/2" BRND	1.5"	10'	1
29	1.5" X 1/2" BRND	1.5"	10'	1
30	1.5" X 1/2" BRND	1.5"	10'	1
31	1.5" X 1/2" BRND	1.5"	10'	1
32	1.5" X 1/2" BRND	1.5"	10'	1
33	1.5" X 1/2" BRND	1.5"	10'	1
34	1.5" X 1/2" BRND	1.5"	10'	1
35	1.5" X 1/2" BRND	1.5"	10'	1
36	1.5" X 1/2" BRND	1.5"	10'	1
37	1.5" X 1/2" BRND	1.5"	10'	1
38	1.5" X 1/2" BRND	1.5"	10'	1
39	1.5" X 1/2" BRND	1.5"	10'	1
40	1.5" X 1/2" BRND	1.5"	10'	1
41	1.5" X 1/2" BRND	1.5"	10'	1
42	1.5" X 1/2" BRND	1.5"	10'	1
43	1.5" X 1/2" BRND	1.5"	10'	1
44	1.5" X 1/2" BRND	1.5"	10'	1
45	1.5" X 1/2" BRND	1.5"	10'	1
46	1.5" X 1/2" BRND	1.5"	10'	1
47	1.5" X 1/2" BRND	1.5"	10'	1
48	1.5" X 1/2" BRND	1.5"	10'	1
49	1.5" X 1/2" BRND	1.5"	10'	1
50	1.5" X 1/2" BRND	1.5"	10'	1
51	1.5" X 1/2" BRND	1.5"	10'	1
52	1.5" X 1/2" BRND	1.5"	10'	1
53	1.5" X 1/2" BRND	1.5"	10'	1
54	1.5" X 1/2" BRND	1.5"	10'	1
55	1.5" X 1/2" BRND	1.5"	10'	1
56	1.5" X 1/2" BRND	1.5"	10'	1
57	1.5" X 1/2" BRND	1.5"	10'	1
58	1.5" X 1/2" BRND	1.5"	10'	1
59	1.5" X 1/2" BRND	1.5"	10'	1
60	1.5" X 1/2" BRND	1.5"	10'	1
61	1.5" X 1/2" BRND	1.5"	10'	1
62	1.5" X 1/2" BRND	1.5"	10'	1
63	1.5" X 1/2" BRND	1.5"	10'	1
64	1.5" X 1/2" BRND	1.5"	10'	1
65	1.5" X 1/2" BRND	1.5"	10'	1
66	1.5" X 1/2" BRND	1.5"	10'	1
67	1.5" X 1/2" BRND	1.5"	10'	1
68	1.5" X 1/2" BRND	1.5"	10'	1
69	1.5" X 1/2" BRND	1.5"	10'	1
70	1.5" X 1/2" BRND	1.5"	10'	1
71	1.5" X 1/2" BRND	1.5"	10'	1
72	1.5" X 1/2" BRND	1.5"	10'	1
73	1.5" X 1/2" BRND	1.5"	10'	1
74	1.5" X 1/2" BRND	1.5"	10'	1
75	1.5" X 1/2" BRND	1.5"	10'	1
76	1.5" X 1/2" BRND	1.5"	10'	1
77	1.5" X 1/2" BRND	1.5"	10'	1
78	1.5" X 1/2" BRND	1.5"	10'	1
79	1.5" X 1/2" BRND	1.5"	10'	1
80	1.5" X 1/2" BRND	1.5"	10'	1
81	1.5" X 1/2" BRND	1.5"	10'	1
82	1.5" X 1/2" BRND	1.5"	10'	1
83	1.5" X 1/2" BRND	1.5"	10'	1
84	1.5" X 1/2" BRND	1.5"	10'	1
85	1.5" X 1/2" BRND	1.5"	10'	1
86	1.5" X 1/2" BRND	1.5"	10'	1
87	1.5" X 1/2" BRND	1.5"	10'	1
88	1.5" X 1/2" BRND	1.5"	10'	1
89	1.5" X 1/2" BRND	1.5"	10'	1
90	1.5" X 1/2" BRND	1.5"	10'	1
91	1.5" X 1/2" BRND	1.5"	10'	1
92	1.5" X 1/2" BRND	1.5"	10'	1
93	1.5" X 1/2" BRND	1.5"	10'	1
94	1.5" X 1/2" BRND	1.5"	10'	1
95	1.5" X 1/2" BRND	1.5"	10'	1
96	1.5" X 1/2" BRND	1.5"	10'	1
97	1.5" X 1/2" BRND	1.5"	10'	1
98	1.5" X 1/2" BRND	1.5"	10'	1
99	1.5" X 1/2" BRND	1.5"	10'	1
100	1.5" X 1/2" BRND	1.5"	10'	1

NOTE:
DASHED LINES REPRESENT BELOW FLOOR DWV PIPE TO BE FIELD INSTALLED BY OTHERS. BUILDER IS RESPONSIBLE TO ASSURE THAT FINAL SYSTEM CONFORMS TO ALL APPLICABLE CODES.

SYMBOL	DESCRIPTION
—	1 1/2" PIPE
—	2" PIPE
—	3" PIPE
---	STANDARD SHIP LOOSE
D	5
E	1
F	1
FF	1
M	3
NN	2
O	3
P	1
PP	2
Q	3
U	1
XX,H	1
1.5" PIPE	5 FT
2" PIPE	3 FT
3" PIPE	5 FT
K	1
S	1

PIPING AND FITTING MATERIAL TYPE TO BE:
 PEX TYPE BY QUEST, CPVC OR COPPER
 PRESSURE RANGE 40-49 PSI
 80' DEVELOPED LENGTH



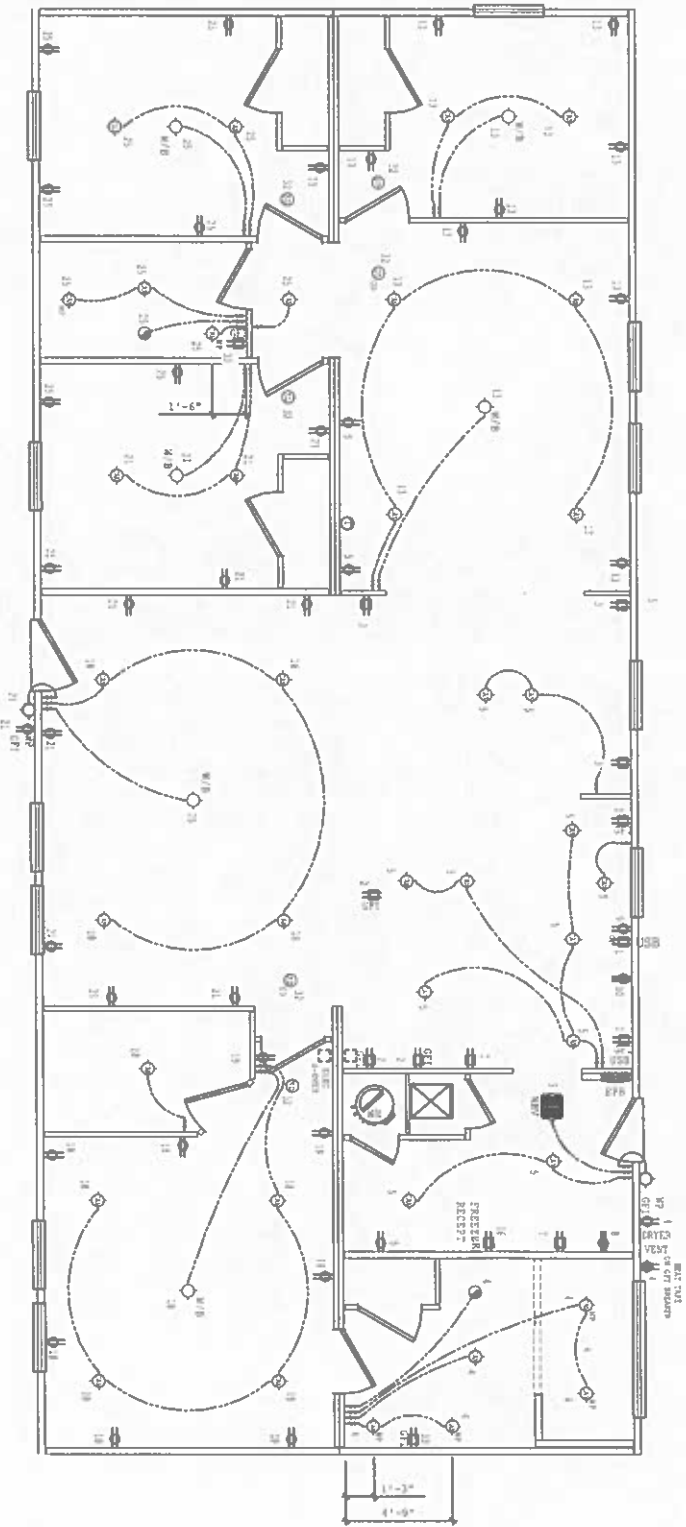
COLD WATER SUPPLY PLUMBING

HOT WATER SUPPLY PLUMBING

PIPE LEGEND

—	1"
—	3/4"
—	1/2"

BRAND CLAYTON		SERIES C-228	
QUANTITY CLAYTON HOME BUILDING GROUP		REVISIONS	
DATE	BY	DATE	BY
10/23/11	TJE	04/23/11	TJE
GENERAL NOTES		DRAWING TITLE	
CHECK ALL DIMS FOR SIZES		SUPPLY PLUMBING	
MODEL NAME	PLANT	PROJECT	MODEL NO.
3337-HUD-28-WIDE	958	28X64 4BR-2BA	SN255520
DRAWN BY	DATE	DATE PRINTED	SHEET NO.
LSS	10/28/2023	10/30/2023	9-1



NOTE: ALL FAMILY, DINING, LIVING, PARLOR, LIBRARIES, DEN, BEDROOMS, SUNROOM, RECREATION ROOMS, CLOSETS, HALLWAY OR SIMILAR ROOMS OR SPACES SHALL BE PROTECTED BY A LISTED ARC-FULT CIRCUIT INTERRUPTER IN ACCORDANCE WITH SECTION 210.12 OF THE NEC.

NO.	DESCRIPTION	REQ.	VOLTS	PHASE	RECREATION ROOM		KITCHEN		DINING ROOM		LIVING ROOM		PARLOR		LIBRARY		DEN		BEDROOM		SUNROOM		RECREATION ROOM		CLOSET		HALLWAY		STAIR		ELECTRICAL		
					NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.
1	RECREATION ROOM	1	120	1 <td>1</td> <td>1</td> <td>1</td> <td>1</td> <td>1</td> <td>1</td> <td>1</td> <td>1</td> <td>1</td> <td>1</td> <td>1</td> <td>1</td> <td>1</td> <td>1</td> <td>1</td> <td>1</td> <td>1</td> <td>1</td> <td>1</td> <td>1</td> <td>1</td> <td>1</td> <td>1</td> <td>1</td> <td>1</td> <td>1</td> <td>1</td>	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1		
2	KITCHEN	2	120	1 <td>2</td> <td>2</td> <td>2</td> <td>2</td> <td>2</td> <td>2</td> <td>2</td> <td>2</td> <td>2</td> <td>2</td> <td>2</td> <td>2</td> <td>2</td> <td>2</td> <td>2</td> <td>2</td> <td>2</td> <td>2</td> <td>2</td> <td>2</td> <td>2</td> <td>2</td> <td>2</td> <td>2</td> <td>2</td> <td>2</td> <td>2</td>	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2		
3	DINING ROOM	3	120	1 <td>3</td> <td>3</td> <td>3</td> <td>3</td> <td>3</td> <td>3</td> <td>3</td> <td>3</td> <td>3</td> <td>3</td> <td>3</td> <td>3</td> <td>3</td> <td>3</td> <td>3</td> <td>3</td> <td>3</td> <td>3</td> <td>3</td> <td>3</td> <td>3</td> <td>3</td> <td>3</td> <td>3</td> <td>3</td> <td>3</td> <td>3</td>	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3		
4	LIVING ROOM	4	120	1 <td>4</td> <td>4</td> <td>4</td> <td>4</td> <td>4</td> <td>4</td> <td>4</td> <td>4</td> <td>4</td> <td>4</td> <td>4</td> <td>4</td> <td>4</td> <td>4</td> <td>4</td> <td>4</td> <td>4</td> <td>4</td> <td>4</td> <td>4</td> <td>4</td> <td>4</td> <td>4</td> <td>4</td> <td>4</td> <td>4</td> <td>4</td>	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4		
5	PARLOR	5	120	1 <td>5</td> <td>5</td> <td>5</td> <td>5</td> <td>5</td> <td>5</td> <td>5</td> <td>5</td> <td>5</td> <td>5</td> <td>5</td> <td>5</td> <td>5</td> <td>5</td> <td>5</td> <td>5</td> <td>5</td> <td>5</td> <td>5</td> <td>5</td> <td>5</td> <td>5</td> <td>5</td> <td>5</td> <td>5</td> <td>5</td> <td>5</td>	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5		
6	LIBRARY	6	120	1 <td>6</td> <td>6</td> <td>6</td> <td>6</td> <td>6</td> <td>6</td> <td>6</td> <td>6</td> <td>6</td> <td>6</td> <td>6</td> <td>6</td> <td>6</td> <td>6</td> <td>6</td> <td>6</td> <td>6</td> <td>6</td> <td>6</td> <td>6</td> <td>6</td> <td>6</td> <td>6</td> <td>6</td> <td>6</td> <td>6</td> <td>6</td>	6	6	6	6	6	6	6	6	6	6	6	6	6	6	6	6	6	6	6	6	6	6	6	6	6	6	6		
7	DEN	7	120	1 <td>7</td> <td>7</td> <td>7</td> <td>7</td> <td>7</td> <td>7</td> <td>7</td> <td>7</td> <td>7</td> <td>7</td> <td>7</td> <td>7</td> <td>7</td> <td>7</td> <td>7</td> <td>7</td> <td>7</td> <td>7</td> <td>7</td> <td>7</td> <td>7</td> <td>7</td> <td>7</td> <td>7</td> <td>7</td> <td>7</td> <td>7</td>	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7		
8	BEDROOM	8	120	1 <td>8</td> <td>8</td> <td>8</td> <td>8</td> <td>8</td> <td>8</td> <td>8</td> <td>8</td> <td>8</td> <td>8</td> <td>8</td> <td>8</td> <td>8</td> <td>8</td> <td>8</td> <td>8</td> <td>8</td> <td>8</td> <td>8</td> <td>8</td> <td>8</td> <td>8</td> <td>8</td> <td>8</td> <td>8</td> <td>8</td> <td>8</td>	8	8	8	8	8	8	8	8	8	8	8	8	8	8	8	8	8	8	8	8	8	8	8	8	8	8	8		
9	SUNROOM	9	120	1 <td>9</td> <td>9</td> <td>9</td> <td>9</td> <td>9</td> <td>9</td> <td>9</td> <td>9</td> <td>9</td> <td>9</td> <td>9</td> <td>9</td> <td>9</td> <td>9</td> <td>9</td> <td>9</td> <td>9</td> <td>9</td> <td>9</td> <td>9</td> <td>9</td> <td>9</td> <td>9</td> <td>9</td> <td>9</td> <td>9</td> <td>9</td>	9	9	9	9	9	9	9	9	9	9	9	9	9	9	9	9	9	9	9	9	9	9	9	9	9	9	9		
10	CLOSET	10	120	1 <td>10</td> <td>10</td> <td>10</td> <td>10</td> <td>10</td> <td>10</td> <td>10</td> <td>10</td> <td>10</td> <td>10</td> <td>10</td> <td>10</td> <td>10</td> <td>10</td> <td>10</td> <td>10</td> <td>10</td> <td>10</td> <td>10</td> <td>10</td> <td>10</td> <td>10</td> <td>10</td> <td>10</td> <td>10</td> <td>10</td> <td>10</td> <td>10</td>	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	
11	HALLWAY	11	120	1 <td>11</td> <td>11</td> <td>11</td> <td>11</td> <td>11</td> <td>11</td> <td>11</td> <td>11</td> <td>11</td> <td>11</td> <td>11</td> <td>11</td> <td>11</td> <td>11</td> <td>11</td> <td>11</td> <td>11</td> <td>11</td> <td>11</td> <td>11</td> <td>11</td> <td>11</td> <td>11</td> <td>11</td> <td>11</td> <td>11</td> <td>11</td> <td>11</td>	11	11	11	11	11	11	11	11	11	11	11	11	11	11	11	11	11	11	11	11	11	11	11	11	11	11	11	11	
12	STAIR	12	120	1 <td>12</td> <td>12</td> <td>12</td> <td>12</td> <td>12</td> <td>12</td> <td>12</td> <td>12</td> <td>12</td> <td>12</td> <td>12</td> <td>12</td> <td>12</td> <td>12</td> <td>12</td> <td>12</td> <td>12</td> <td>12</td> <td>12</td> <td>12</td> <td>12</td> <td>12</td> <td>12</td> <td>12</td> <td>12</td> <td>12</td> <td>12</td> <td>12</td> <td>12</td>	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12
13	ELECTRICAL	13	120	1 <td>13</td> <td>13</td> <td>13</td> <td>13</td> <td>13</td> <td>13</td> <td>13</td> <td>13</td> <td>13</td> <td>13</td> <td>13</td> <td>13</td> <td>13</td> <td>13</td> <td>13</td> <td>13</td> <td>13</td> <td>13</td> <td>13</td> <td>13</td> <td>13</td> <td>13</td> <td>13</td> <td>13</td> <td>13</td> <td>13</td> <td>13</td> <td>13</td> <td>13</td>	13	13	13	13	13	13	13	13	13	13	13	13	13	13	13	13	13	13	13	13	13	13	13	13	13	13	13	13	13

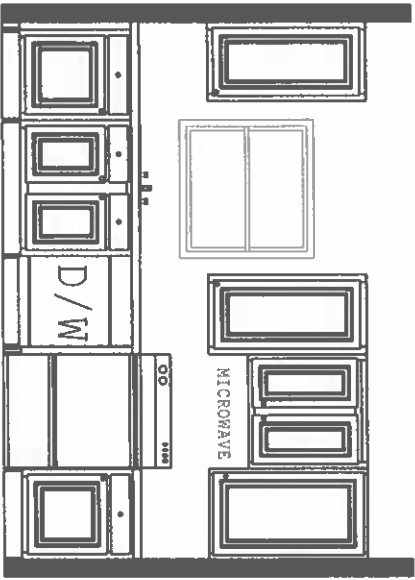
CLAYTON HOME BUILDING GROUP

CLAYTON

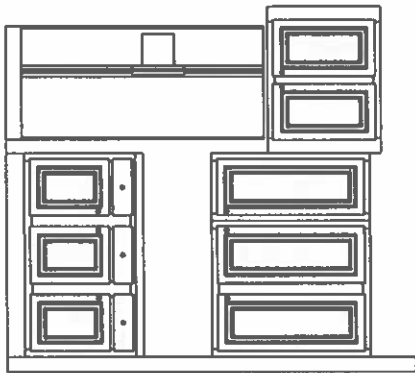
3337-HUD-28-WIDE

ELECTRICAL PLAN

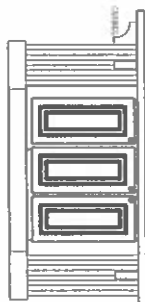
1685



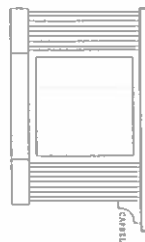
CABINET ELEVATION A



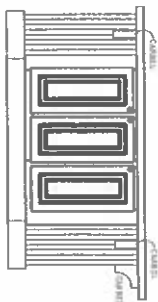
CABINET ELEVATION B



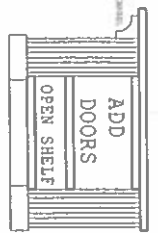
DINING SIDE



KIT SINK END

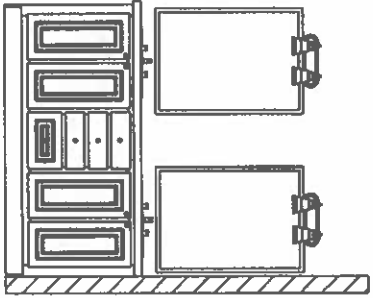


REFER SIDE

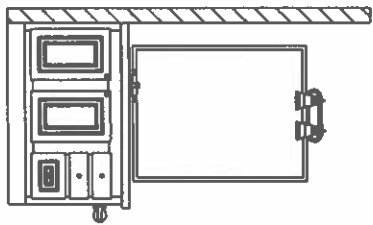


LIVING RM END

CABINET ELEVATION C



CABINET ELEVATION D



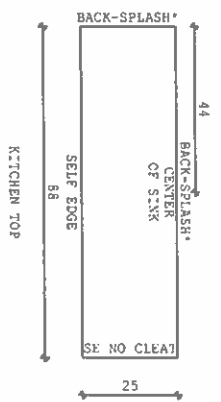
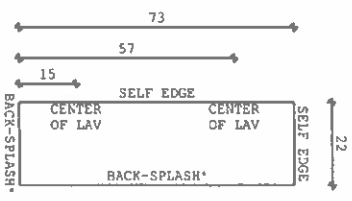
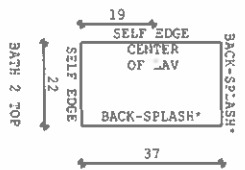
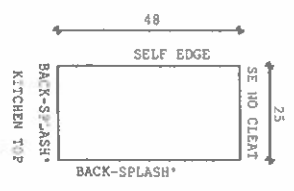
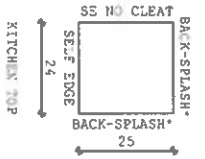
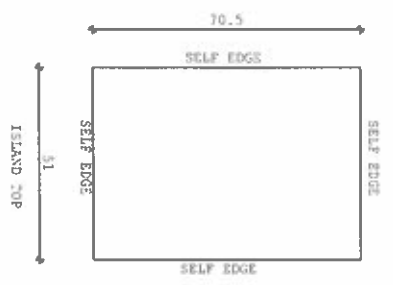
CABINET ELEVATION E

CABINET ELEVATION F

PROJECT		NEW LISTINGS		DATE		GENERAL NOTE		SHEET NO.	
CLAYTON		CL26		10/28/23		CAB TRIM, HINGE TRIM & KNOB ELEMENTS PER FINIS		17-1	
CLAYTON HOME BUILDING GROUP		CANNON CABINETS BIRDIE FINISH KITCHEN						3337-90D-28-R10E	
								3337-90D-28-R10E	
								ZBX64 49R-28A	
								10/30/2023	
								SN255520	

CABINET ELEVATION-1

DATE	3337-90D-28-R10E	SHEET NO.	17-1
DESIGNER	ZBX64 49R-28A	DATE PRINTED	10/30/2023
DATE	10/28/2023	DATE PRINTED	10/30/2023
DATE	10/28/2023	DATE PRINTED	10/30/2023



CLAYTON HOME BUILDING GROUP

REV	DATE	DESCRIPTION

CLAYTON HOME BUILDING GROUP

COUNTER TOPS

PROJECT NO.	3337-HUD-28-WIDE	SHEET NO.	18-1
DATE	10/30/2023	MODEL NO.	SN255520
DESIGNER	28X64 43R-2BA	DATE PLOTTED	10/30/2023
DRAWN BY	LSS	SHEET NO.	18-1

Subject Photo Page

Borrower/Client	Levi & Kacey Oakley		
Property Address	210 Medlin St		
City	Walhalla	County	Oconee
		State	SC
Client	Levi & Kacey Oakley		
		Zip Code	29691



Subject Front

210 Medlin St
 Sales Price Unknown
 GLA 924
 Total Rooms 5
 Total Bedrms 2
 Total Bathrms 2.0
 Location Suburban/Avg.
 View Res./Avg.
 Site +-1.79 Acres
 Quality Brick, Vinyl/Avg.
 Age 36 Years



Subject Rear



Subject Side